

ADDENDUM No1 Released Feb 22, 2018

1.1 EXTENSION OF TIME

Please note extension of time has been granted for the submission of the Proposals

Instruction - Amend RFP Part 1 Section 1.4 as follows:

Issue Date of RFP	January 31st 2018
Deadline for Questions	Friday March 9 th Atlantic Standard Time ("AST")
Deadline for Issuing Addenda	Mon March 12th 2018 at 3:00 PM AST
Submission Deadline	Wed March 14th 2018 at 3:00 PM AST

1.2 FOR INFORMATION – Concerto Condition Survey Input Sample Template

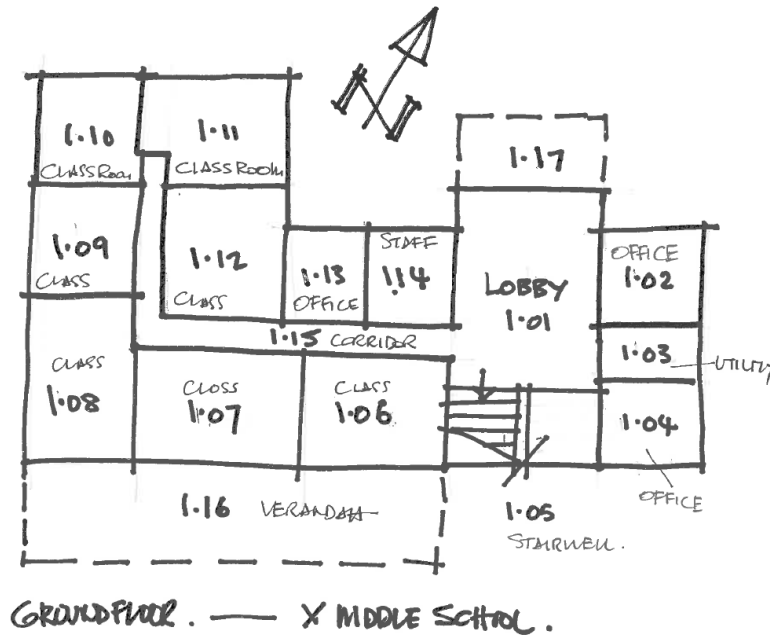
Attached as Appendix 1 to this addendum is a copy the Concerto Elemental Condition Survey Template in Excel Format. Refer to question 1 below. This input will be covered in the training sessions to be provided to the successful bidders.

1.2 FLOOR PLANS

As noted in the RFP documents Section G.2 Floor layout and room numbering. G.2.1: Input of Area and Room Details: *Bidders shall assume that floor plans are not available for the carrying out the condition surveys. The condition survey shall require the successful bidder to prepare an outline floor plan layout line diagram for each building or block on the site and be responsible for numbering rooms as below. This is solely for room identification purposes for the condition survey input to Concerto.*

Refer to below for the sample style of a floor layout diagram with room numbers and room titles allocated and a north point. The room numbers and titles will be later transferred to as-built drawings, when ready, but outside the scope of this RFP.

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1.3 Floor Areas.

Approximate gross external floor areas per building will be provided as a guide as Addendum 2 to be released by Feb 28th 2018.

1.5 RESPONSES TO BIDDERS QUESTIONS.

Answers are noted in red.




Q1.

The requirements of the RFP differ from some of the comments in the briefing session of 9th February 2018. The RFP appears to require considerable detail but the verbal advice during the information session less-so. **Please clarify what is required to be included in our bid as the time required for the tasks will vary greatly depending on which course of action is to be followed.**

- **The objective of the condition survey is to identify remedial works and deficiencies to assist in setting up a 5 year planned preventative maintenance programme for each school and to assess and overall condition to make informed decisions about priorities for maintenance and capital works for the school property. Concerto allows for detailed input and less detailed input as the issue identified requires**
- **Refer to attached "Master Condition Import Template Sample School Condition Survey 2010221". This mirrors the website input against each element. Note: Mandatory fields**

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and required fields as in red text in sheet 1 and highlighted as below on sheet 2 explanatory notes in the Excel Spreadsheet.

Mandatory Field	
Required when applicable but not mandatory	
Not Required	

Specifically:

RFP: Prescribes the need for a “Condition Survey” as referenced below, requiring comment on each component.

Briefing: it was indicated that only a list of defective items per space per school need be provided.

Please clarify the scope of service to be included.

- **This has been reviewed and the survey shall include comments on elements that are in “Good” condition. The intention is that a condition survey in Concerto format should not be any different from the traditional written report. Concerto does permit general comments without having to identify each element. For instance, “ all windows are in good condition”**

Ref: Part1 – 1.1 item 1): Building Fabric Condition Survey: including the identification of building elements, components and finishes (e.g. roof, windows, walls, floors etc) and the application of a rating system against each element based on the condition and set a priority for action with approximate projected costs for repairs and replacements

- **Note: a dropdown rating system within Concerto is as below for the assessment of each element.**
 - **A – Good Condition**
 - **B – Satisfactory condition**
 - **C – Poor condition**
 - **D – Bad / Very Poor Condition**
 - **D1 – Priority/ Urgent Work Required**

Part1 – 1.1 item 2): Mechanical and Electrical Condition Survey: including the identification of electrical and mechanical (i.e. Electrical, HVAC, plumbing and drainage) services and equipment and the application of a rating system against each component based on condition and priority with approximate projected costs for repairs and replacements.

- **As above. Again a general comments for all elements or specific components in the building can be included without dedicating**

Q2.

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As also referenced above:

RFP: Prescribes the need for “approximate projected costs for repairs and replacements”.

Briefing: Approximate costs may not be necessary. **Please clarify the scope of service to be included.**

The scope of work included in the bid shall:

- **Identify maintenance and remedial works and replacements,**
- **provide an approximate measure of the quantity of the works,**
- **provide an approximate all-in budget planning cost of making good or replacements**

If further investigation or opening up is required to be able to fully assess a cost then the item can be identified and noted as requiring further investigation.

Q3.

RFP: Prescribes the need for an “*outline floor plan layout diagram for each building or block*”.

Briefing: Plan can be hand drawn and not to scale / no dimensions required.

It was suggested in the meeting that GoB could assess whether fire escape plans existed for any/all of the buildings and issue to the bidders.




Please clarify the scope of service to be included and whether fire escape plans might be available.

- **We have been advised that Fire Escape floor plans are not available for all schools.**

Q4.

In the 9 Feb briefing, the possibility of GoB providing a completed Concerto example of a few real rooms showing photos of the same was discussed. Ideally, this would also highlight which fields in the Concerto spreadsheet are required to be completed by the bidders and which may remain blank. This information would be extremely helpful in preparing the fee proposal as well as ensuring that all bidders are pricing on a similar basis. Can you please provide?

- **Refer to attached “Master Condition Import Template Sample School Condition Survey 2010221”. Note Mandatory fields and required fields as highlighted below on sheet 2.**

Mandatory Field	
Required when applicable but not mandatory	
Not Required	

Q5.

How is it intended to address wide ranging non-conformity with current codes. For example, we suspect it is very probable that the schools do not have tamperproof receptacles on all devices or arc-fault breakers anywhere. How is this to be handled as compared with laboriously recording recurring defects / non-compliances within every room.

- **Repeat Items in common throughout the building can be recorded as a general item throughout without locating each item in each room. The room reference can be omitted and the location put in text by the Surveyor as “all rooms” or “all electrical**

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outlets” or similar. The Concerto input allows one or the other and will be shown in the detail training with the successful bidders.

Q6.

ACM / Mould / Lead paint. Please clarify which items are to be examined and how this is to be investigated / recorded.

Observation of probable asbestos is to be noted.

- **Yes – locations of suspected Asbestos Containing Materials shall be noted in the survey the need for to testing to shall be noted. Testing is outside scope for the survey and cost estimate.**

Mould is obviously a further potential air quality issue, but can be very difficult to observe (within ducts etc).

- **Mould shall be noted where visibly apparent and the suspected cause of shall be identified where possible. As above testing and cost of testing is outside of scope of the survey.**

Should lead paint also be considered?

- **If in the professional opinion of the surveyor lead paint maybe suspected due to age and condition of the building then it shall be noted as such for testing by others. As above testing and cost of testing is outside of scope of the survey.**

Q7.

It was noted in the briefing session that special testing of the M&E equipment would not be required, but the perceived need for special testing of any particular equipment should be highlighted as part of the survey. Please confirm. **Yes.**

Q8.

Has Concerto been tested to see if the connection works with access demand / uploads from (say) least five remote persons simultaneously?

- **Yes, It is a web access and will update live when access by internet on the website by PC or laptop. If using the mobile app and out of contact of the internet it will update when next in contact. Refer to Question 32.**

Q9.

Is it possible within Concerto to copy completed entries and then modify, as compared with starting a new entry with virtually replicated detail? For example, where there is a row of classrooms of similar size / condition / range of defects, it would appear to be much more efficient to “save as” and then modify, rather than starting anew each time and inputting the same data multiple times. On a similar note, is it possible to develop standard ‘templates’ within Concerto (e.g. classroom, office, store) which can be called up to save time?

Q10.

We understand from the briefing session that there are no software licensing costs to be borne by the bidders. Please confirm.

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- **No fees or licencing are required by the bidders. The successful bidder will have security access only to the specific school site allocated to them.**

Q11.

We perceive potential access difficulties e.g. occupied classrooms / schools, inaccessible roof voids (and unknown quantity of roof void areas requiring inspection), access to locked rooms etc.

Please advise how we are to estimate and allow for this downtime in our bids.

- **Access will be made available to all rooms. Roof voids shall be inspected where access hatches permit access. The survey shall note where access is not available and identified for future investigation outside of the scope of the survey if opening up is required.**

Q12.

We understand from the briefing session that payment on completion of each school would be permissible, as compared with MoA 1.03 which states payment is to be “on completion of the works”.

Please confirm interim payments per school would be acceptable.

Payment can be made on a school by school basis on receipt and approval by the employer of each survey.

Q13.

The RFP requires “three references from clients who have obtained goods or services similar to those requested in this RFP from the proponent in the last three (3) years”. Please confirm that these references are required only in respect of providing Condition Surveys / Quantity Surveying Services, and not the use of Concerto software.

- **Yes – applicable to providing condition surveys – we don’t expect bidders to have experience with Concerto prior to this bid.**

Q14.

Please clarify any items of FF&E which are to form part of the scope. For example, interior blinds? Built-in furniture / millwork? Lockers? Desks / Furniture? It was discussed in the Friday briefing that smart boards, TV’s, wifi and the like were excluded. Please confirm.

- **To clarify – Furniture is excluded from the survey. For instance, window blinds / desks / lockers / book cases / filing cabinets and such like. Also operational education equipment, lab equipment, gym equipment, TV’s /AV and Smartboards. IT equipment and infrastructure is excluded.**
- **Anything part of the building fabric shall be included such as floor finishes including fitted carpet, vinyl flooring, tile, wood panelling, ceiling tile shall be included.**

Q15.

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In the briefing session, it was mentioned that the forms might be able to be imported / exported between Concerto and Excel. Can you please confirm:

- **Refer to attached Sample Excel template “Master Condition Import Template Sample School Condition Survey 2010221”.**
- a) the conversion process is seamless and straight-forward – no loss of information etc. **Yes**
- b) whether it would be acceptable for the survey to be conducted in Excel, as this is obviously more familiar software for all. **Yes – although we don’t think it will less time intensive**
- c) If so, can a completed template be provided, similar to Q2 above. **See attached as a blank template. Further training on input to Concerto will be provided to successful bidders.**

Q16

What drawings are available for what schools and in what formats, please confirm oral answers given 16/02/18?

- **The bid states that no floor plans are not available and requires the bidders to provide a simple floor layout diagram. Refer to Section G.2 in Doc 1 RFP Invitation. A sample of a typical floor plan will be provided in an Addendum.**

Q17

Please amplify the role envisaged for the QS, (your item 5, ‘Qualification of Bidders’, page 3 of 39)? Also, see Question 7 below.

- **It is assumed a QS will provide the approximate estimate pricing information required in the survey for the Building Survey and could take the lead role in the survey team.**

Q18

What is the role envisaged for the Professionally Registered Structural Engineer?

- **The bid does not state a specific requirement for a Structural Engineer but could take the lead role for the Building Fabric Survey and lead role the bid team.**

Q19.

What is the role envisaged for the Professionally Registered Architect?

- **The bid does not state a specific role for a Registered Architect. A Registered Architect could take the lead role for the Building Survey and the bid team.**

Q20.

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Are registered professionals required in each discipline where opinions /quotes for inspections are given? **Yes.**

Note: There no requirements for any specific discipline to be the lead role in the survey team. However the bid may only be submitted under one name with the other members of the team as sub-consultants to the bidder. The Government requires to enter into a contract with one entity for each group of schools.

Q.21

What level of detail and what quality of drawings / sketches are required? Will hand sketches suffice? **Hand drawn legible diagram plans are acceptable.**

Q22.

Please amplify what each of the three types of survey is to be to be used for?

- **The surveys will be used to identify remedial works and deficiencies in each of the disciplines to assist with setting up a planned preventative maintenance programme for each school and to assess and overall condition to make informed decisions about the school property.**

Q23.

Cost of repair and replacement, particularly replacement costs, by 31 May 2018 (for a maximum of two (2) schools Groups), will be difficult, practically impossible FOR ANY BIDDER, even after the initial Condition surveys and Repair surveys are completed (your Appendix D, Sections A1.1 and A1.2, page 28 of 39)?

Q24.

Why isn't some objective MWE system of rating for the Building Fabric Condition being proposed so that a common playing field is established for all five groups of buildings?

- **There is a rating system within the Concerto as below for the assessment of each element.**

A – Good Condition

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B – Satisfactory condition

C – Poor condition

D – Bad / Very Poor Condition

D1 – Priority/ Urgent Work Required

Q25.

Do we just count the number of windows, doors, fluorescent light fixtures, etc., to be replaced out of a total in each room?

Number of replacements or repairs can be totalled per room or overall by the total for the building without having to identify each individual location.

Q26.

What type of PI Insurance (non-design, non-project management), is required at \$500,000 minimum and for each discipline? See question 5 above.

- **Professional liability insurance would cover any claims arising out of any error or omissions from the professional services provided.**

Q27.

Do we just carry out a survey of existing conditions on the site, ignoring adjacent properties, even if there are relevant issues in liaison with adjoining owners?

- **We don't require the persons carrying out the surveys to liaise with adjoining owners, but they should identify any property condition issues that are impacted by adjoining properties. Collapsed retaining walls or drains washing off from an adjoining property are possible examples.**

Q28.

Are environmental matters to be considered over and above mould infestation? What are the guidelines?

- **Yes – they should be identified and located. An assessment of the cause of the mould should be provided if apparent. Testing and Air Quality testing are outside of the scope of the survey and cost estimating. See Q6.**

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Q.29

What level of detail are you seeking (for the ministry) to ensure that responses are appropriate for the complexity of repairs and replacement?

- **The level of detail needs to be sufficient to identify the action to the defective element. Repair or replace a window is sufficient. We are not looking for detailed specifications of the window at this stage. If part of a ceiling needs to be replaced then the area and location to be replaced should be identified. Photos can be included.**

Q29. ELECTRICAL SURVEY

I would like to have confirmation that you would like the following test to be included in the survey

1. Ground test and record results of the electrical distribution system e.g. disconnect switch, circuit panels etc. **Yes**
2. Thermal test and record results of the electrical distribution system. **Yes - for disconnect switches and distribution panels.**
3. Can you confirm we are required to measure and document the lighting level from each room? **No. [Floor plans are not available]**
4. Can you confirm we are required to use the latest NFPA Codes & Standards and the Authority Having Jurisdiction are the electrical standards for wiring methods and material, fire Alarm System, Life Safety etc. **Yes**
5. Can you confirm the cost estimate is to be for budget purposes only? **Yes. The objective of the estimates is to assist with budget planning over next 5 years.**

Q30. ELECTRICAL SURVEY

When I enter a classroom or any area do I visually check to see if the light fixture is working and that's it or do I take off the switch cover see if the switch is code compliant and go into the ceiling and see to if the wiring method and materials according to the latest NFPA codes e.g. check wire size, conduit size, box size etc. **Yes - to the latter as underlined.**

When you enter a room do you require us to visually look at the receptacles or do you require us to test each receptacle to confirm they are working and code compliant? **A test of each outlet is required to provide full information.**

Q31.

Can you please advise us to what mobile device such as phones or tablets would be suitable for this project? This might include screen size, RAM, Memory and or Camera Pixel quality.

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Concerto don't have any recommended mobile requirements, in term of size, RAM, memory or Camera Pixel as this is a preference for user/client, however in terms of available browsers we would recommend using android or apple rather than a windows mobile as the available browsers are better equipped to manage Concerto functionality.

Q32.

Further, as it appears that the device needs to be connected to the internet at all times (?) Is there a download file that will allow us to operate where some spaces may not have internet connection?

In short, no. The app is published via a URL, therefor the app allows offline working, as long as the data is pulled through to the device while online and the user does not log off from the specific browser, the user can complete the survey as the device will retain the data and sync back when online again.

The survey is stored locally on the phone/tablets memory until the upload has been completed, however the browser utilized will hold a restriction as to how much data can be downloaded therefore a maximum of 2 surveys can be downloaded at any one time, per user, via the App.

Q33

Does the software have any favorability to interfacing with electronic measurement devices such as Leica Geosystems, Faro, etc.

Concerto currently does not interface with electronic measurement devices.

Q34

We anticipate that we may need 3-5 seats / users for our team. What would be the cost to provide services for us.

There would be no cost to provide Concerto access to specific school sites to input the survey. 1 access contact would be provide for each of the 3 disciplines.

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END OF QUESTIONS